

**GREAT OAKS SOUTH H.O.A., INC.**  
**ARCHITECTURAL REVIEW RESPONSE FORM**

Elite Association Management  
11231 Richmond Ave, Suite D 108  
Houston, TX 77082

**DATE:**

**TO:**

**FROM:** COMMITTEE MEMBER

**REQUEST FOR:**

**REQUEST RECEIVED:**

**ASSOCIATION RESPONSE DUE:**

**DETAIL SUBMITTED:**

**JOB STATUS:**

- ☐ Specifications
- ☐ Lot Survey
- ☐ Sketch (Picture)
- ☐ Material Description
- ☐ Color Description
- ☐ Other

- ☐ Scheduled to Begin
- ☐ Already Completed
- ☐ Started Construction
- ☐ Status Unknown

Approval is based upon the request, plans and specifications submitted for architectural review. The Association hereby informs applicant that its review is performed pursuant to those sections of the Covenants and Restrictions governing harmony, color, location, use and construction standards of the community. This is in addition to any approval or permits required by any appropriate governmental entity. The Association has no authority to approve any improvement within an easement or which is in violation of any building set-back line. This approval can in no way supersede the Covenants and Restrictions for your community. It is the obligation of each owner to ensure all improvements are in compliance with the recorded Covenants and Restrictions. All improvements must be maintained in good repair at all times.

**APPROVED** \_\_\_\_\_ **CONDITIONAL APPROVAL** \_\_\_\_\_ **DENIED** \_\_\_\_\_

**Comments:** \_\_\_\_\_

Date: \_\_\_\_\_

\_\_\_\_\_  
Designated Representative for the Association  
Committee Member

## PLEASE KEEP INSTRUCTIONS FOR FUTURE APPLICATIONS

### INSTRUCTIONS FOR APPLICATION FOR HOME IMPROVEMENTS/MODIFICATIONS

**FAILURE TO SUBMIT ALL REQUIRED INFORMATION WILL RESULT IN THE APPLICATION BEING RETURNED DENIED UNTIL ALL INFORMATION CAN BE PROVIDED. MOST ARCHITECTURAL COMMITTEES ARE ALLOWED 30 DAYS TO RESPOND TO AN APPLICATION.**

- 1) If you are applying for a structure (PATIO COVER, ARBOR, GAZEBO, STORAGE SHED, ROOM ADDITION, ETC.) you must submit an elevation drawing showing how the structure will look. Indicate size, height, color, materials and roofing and show placement on the lot survey.
- 2) If you are applying for play structures (PLAY STRUCTURE, SWING SET, TRAMPOLINE, BASKETBALL GOAL, ETC.) you must submit a photo, brochure or drawing. Indicate size, height, color, materials, etc. and show location on lot survey.
- 3) If you are applying for a POOL/SPA you must submit detailed drawing of pool and indicate on lot survey the location of pool and equipment. Must show access to rear of property.
- 4) If you are applying for exterior PAINTING OR SIDING submit sample of color.
- 5) If you are applying for a new ROOF please submit manufactures name / color name (brochure or small sample).
- 6) If you are applying for new front DOORS OR STORM DOORS please provide photo or brochure.
- 7) If you are applying for SOLAR SCREEN/WINDOW TINTING please provide material samples.
- 8) If you are applying for WROUGHT IRON GATES OR BURGLAR BARS please submit drawing; color and indicate on lot survey placement.
- 9) If you are applying for DECKING/PATIO please indicate location on lot survey, materials to be used and height of decking.
- 10) If you are applying for CONCRETE WORK/PAVERS (sidewalks, driveway extension, etc.) please indicate location on lot survey.
- 11) If you are applying for an ANTENNA please give size or height of antennae and show location on lot survey.
- 12) If you are applying for LANDSCAPING OR TREE REMOVAL/REPLACEMENT please submit all details (tree dimension and type) showing placement on lot survey.
- 13) If you are applying for FENCING please advise of height, materials and location on lot survey.
- 14) If you are applying for YARD DECORATIONS (birdbath, benches, statues, signs, lighting, etc.) submit photo or brochure, indicate location on lot survey.

**Please contact PCMI to determine if a deposit is a requirement for a pool application in your community.**

**PLEASE ADDRESS APPLICATIONS TO:**

**ARCHITECTURAL REVIEW COMMITTEE**

Elite Association Management  
11231 Richmond Ave, Suite D 108  
Houston, TX 77082

**PLEASE KEEP INSTRUCTIONS FOR FUTURE APPLICATIONS**



# **SUBMITTAL REQUIREMENTS FOR COVERED PATIOS**

*Refer to the drawings and information in this handout for help in preparing your submittal.*

**Submit two (2) sets of complete plans, plus one (1) extra copy of the site plan.**

- **Each submittal, five (5) pages or more and all supporting documents must be accompanied by an electric copy of plans in PDF or TIFF form.**

**1. SITE PLAN** (see page 3) shall show:

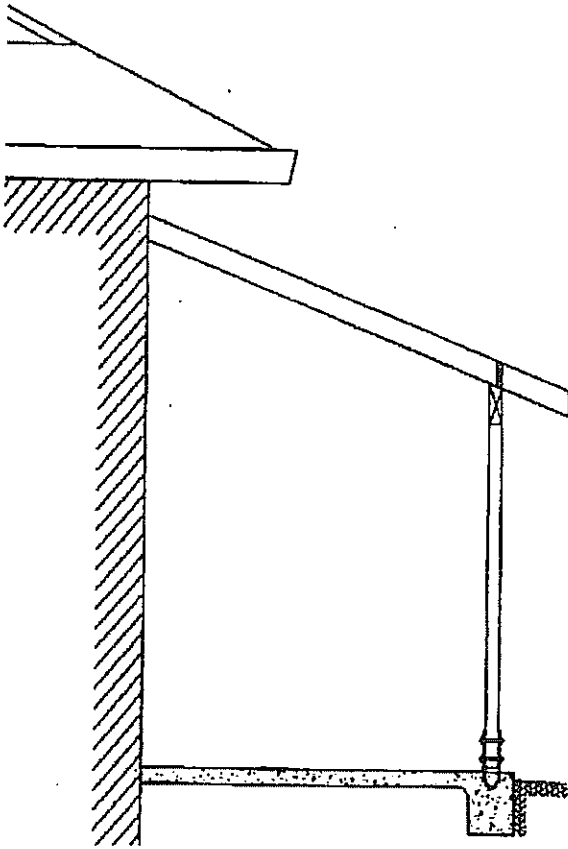
- a. Lot dimensions and easements
- b. Existing structures and the proposed patio structure(s) and their dimensions, including square feet of each.
- c. Distance between the proposed patio and property lines
- d. Distance between the proposed patio and existing structures on the property

**2. ARCHITECTURAL, STRUCTURAL and DETAIL SHEETS** (see pages 6-7) shall show:

- a. Foundation plan, scaled
- b. Framing plan, scaled, shall show size of headers (beams), posts, post spacing, roof rafter size and spacing, attachments to walls, roof sheathing, type of roofing, and roof pitch or slope.
- c. Elevation, scaled, of view that can be observed from the street frontage, if applicable.

## **SETBACK and LOT COVERAGE REQUIREMENTS**

**This overview is provided for reference only. Prior to building any structure or making an addition or modification to any existing structure, check with the Planning Division (209.456.8500) regarding minimum required distances from property lines and other structures. Check with the Public Works Division (209.456.8400) regarding the locations of any easements.**

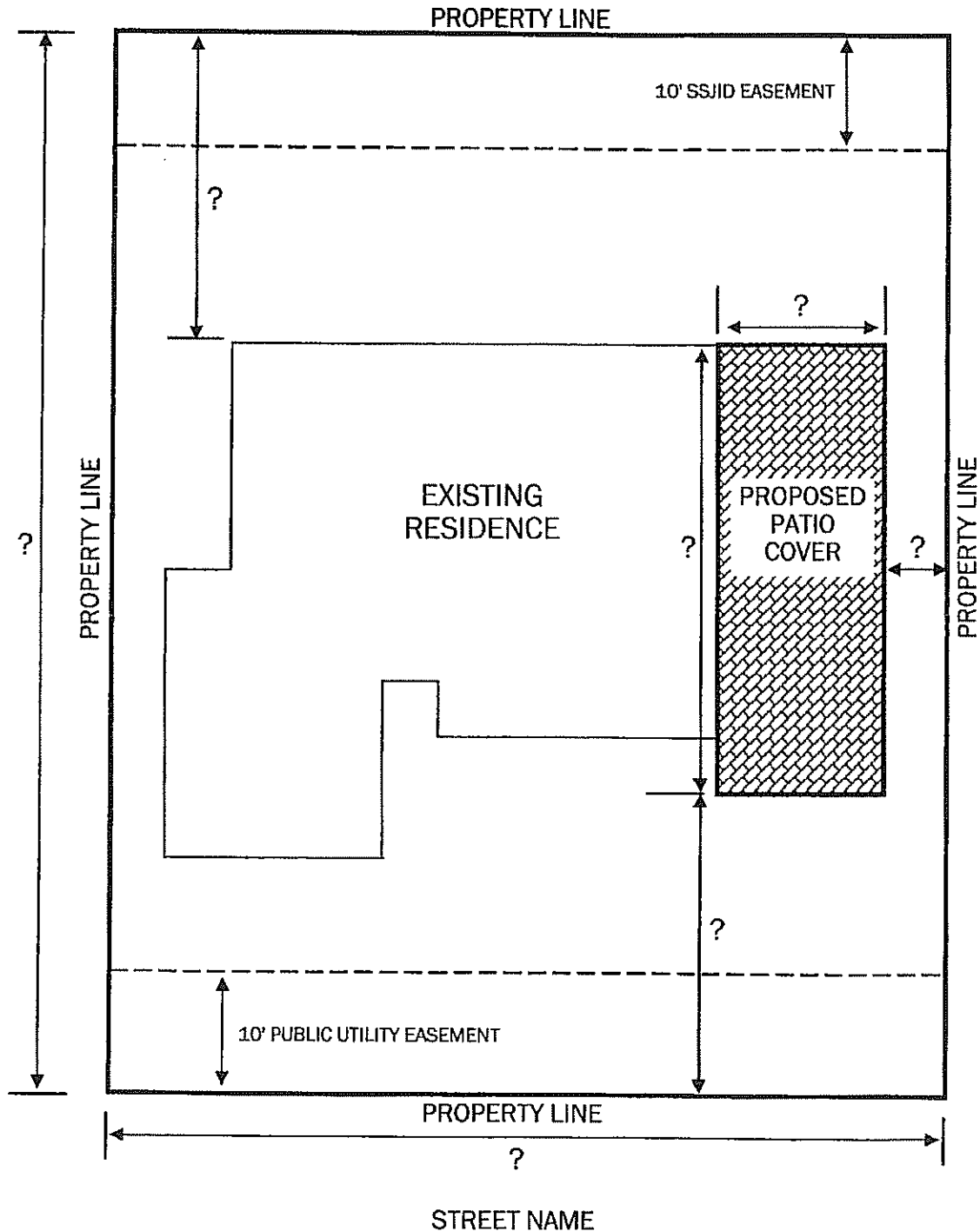


1. The maximum area of a lot that may be covered by roof structures (house, patio, garage, carport, sheds, etc.) is forty-five (45) percent for single-story homes and forty (40) percent for two-story homes.

2. An **attached covered patio** (including lattice patios) must not be located closer than five (5) feet to a side lot line (may extend up to three (3) feet inclusive of roof covering, provided it has 1-hour fire wall rating), or ten (10) feet to a rear lot line, *inclusive of the roof covering*, and may occupy not more than fifty (50) percent of the required rear or side yard. A covered patio in the required side yard of an interior lot shall be no closer than forty (40) feet to the front lot line. *(Contact the Planning Division of the Community Development Department for property line setbacks. The edge of the sidewalk is NOT the property line. The property line is normally 2 feet in back of the sidewalk)*

3. A **detached covered patio** must not occupy more than fifty (50) percent of a required rear yard, and shall be subject to the following requirements:
- a. A detached covered patio (e.g. gazebo) shall not be located closer than ten (10) feet to the main building (may extend up to five (5) feet, inclusive of roof covering, provided it has 1-hour fire wall rating).
  - b. On a corner lot, a detached covered patio shall not encroach on that half of the lot nearest the streets.
  - c. A detached covered patio shall not be closer than five (5) feet to a side or rear lot line, *inclusive of roof covering*.

## SAMPLE SITE PLAN



- 1) Show lot dimensions and total square footage of all covered areas.
- 2) Check with the Planning Division for building setback requirements.
- 3) Check with Public Works for location of any utility easements.

**TABLE A: Allowable Spans for Rafters**

<b>SIZE*</b>	<b>SPACING</b>	<b>SPAN</b>
2" x 6"	12"	15' 6"
	16"	14' 1"
	24"	11' 9"
2" x 8"	12"	20' 5"
	16"	18' 2"
	24"	14' 10"
2" x 10"	12"	25' 6"
	16"	22' 3"
	24"	18' 2"
2" x 12"	12"	Span exceeds 26' in length
	16"	25' 9"
	24"	21' 0"

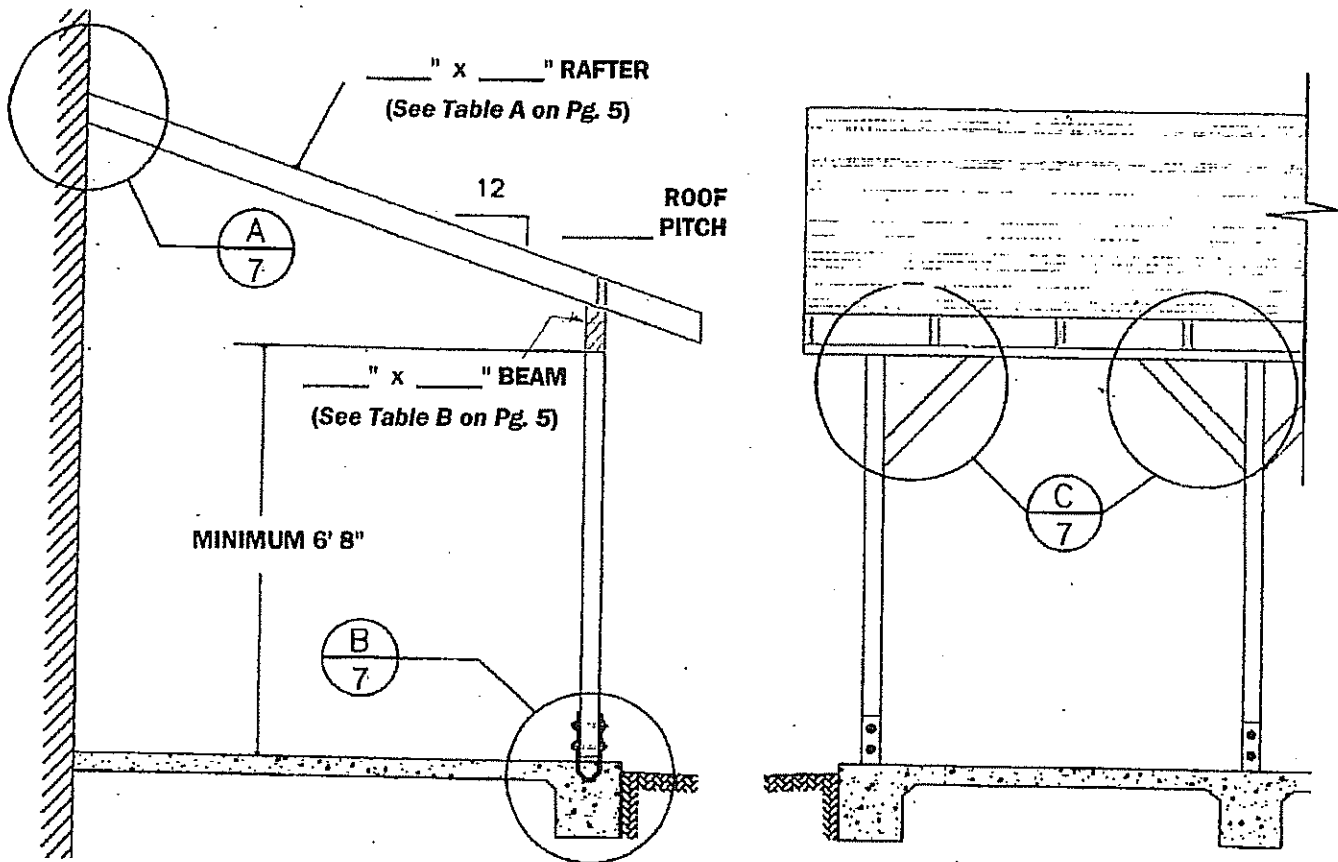
**TABLE B: Allowable Spans for Beams**

<b>SIZE*</b>	<b>10' DEPTH</b>	<b>15' DEPTH</b>	<b>20' DEPTH</b>
4" x 6"	8' 0"	6' 6"	5' 6"
4" x 8"	11' 0"	9' 0"	7' 6"
4" x 10"	13' 6"	11' 0"	9' 6"
4" x 12"	16' 0"	13' 0"	11' 0" !
4" x 14"	18' 0"	14' 6"	12' 6"

\*Douglas Fir Larch #2

## **REQUIRED DETAILS**

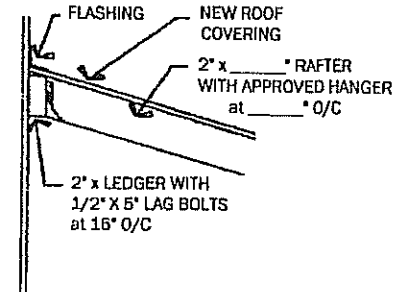
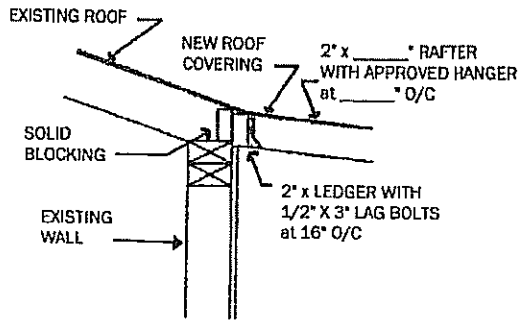
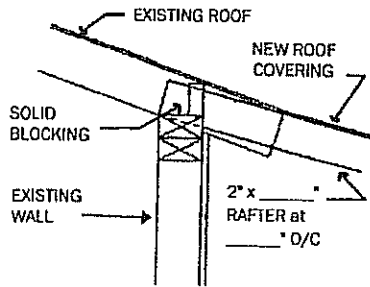
See Page 7 for Specifications



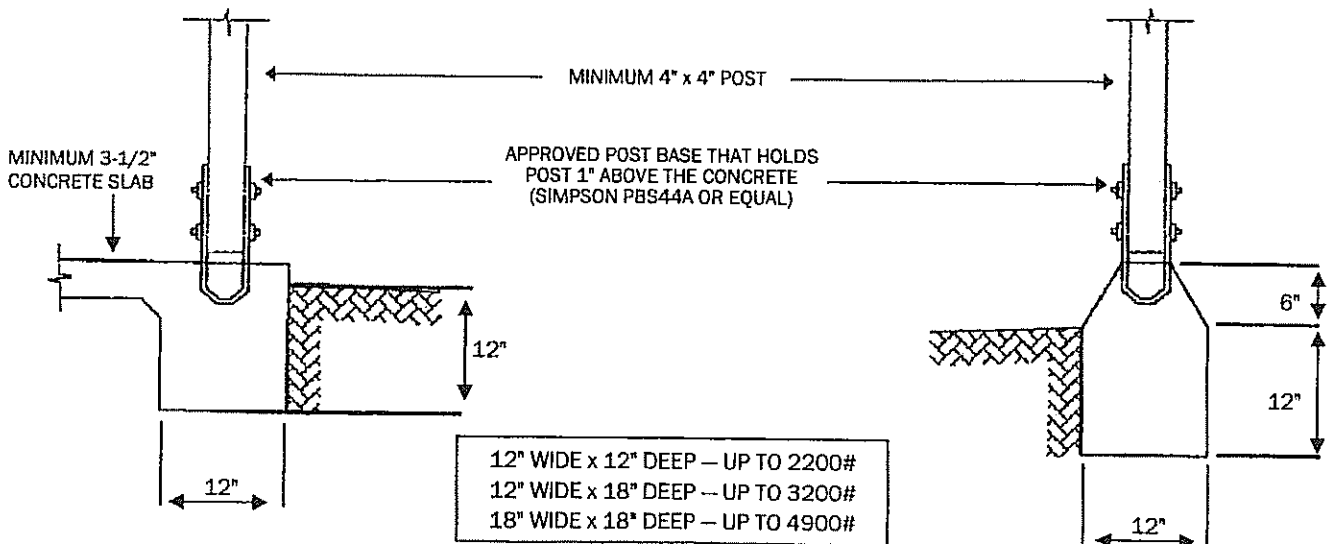
## **ROOF COVERING SPECIFICATIONS**

1. The minimum roof pitch for asphalt shingles is 4:12; however, asphalt shingles may be installed at a pitch between 2:12 to less than 4:12 if two layers of Type 15 felt applied shingle-fashion are used and the shingles are self-sealing (2010 CBC Sect. 1507.2.2).
2. The minimum roof pitch for 24" wood shakes is 4:12 with a 10" exposure (2010 CBC Sect. 1507.9.2).
3. Plywood or particle board must be CC exterior or better and rated for the span being used. Nailing shall be a minimum of 8d at 6" O.C. on the edges and 12" O.C. on the field.
4. For roof pitches below 2:12, a low-sloped roofing system approved by the Building Official shall be used.
5. The details on this sheet are not meant to be used for concrete tile roof coverings.

ROOF COVERING: \_\_\_\_\_  
(SEE NOTES ON PAGE 6)

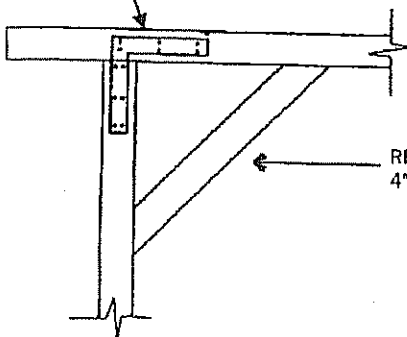


## DETAIL A

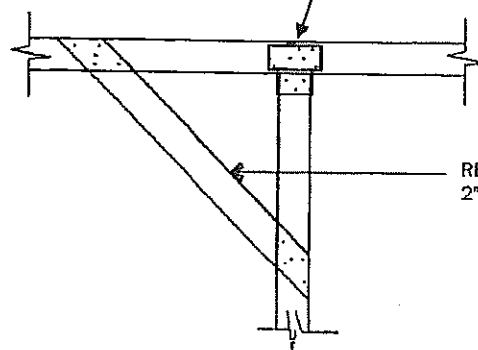


## DETAIL B

APPROVED "L" BRACKET, "T" BRACKET OR POST CAP

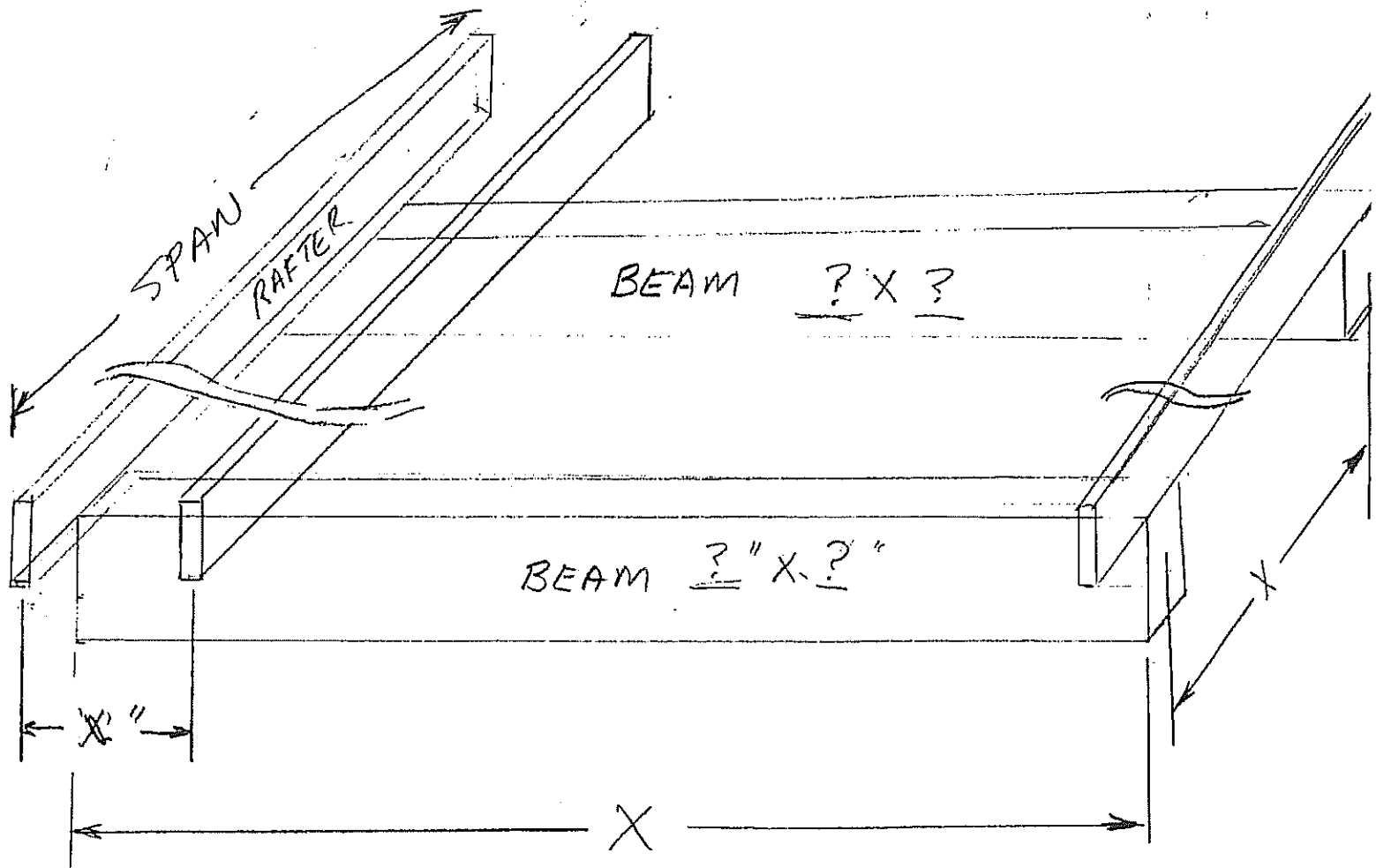


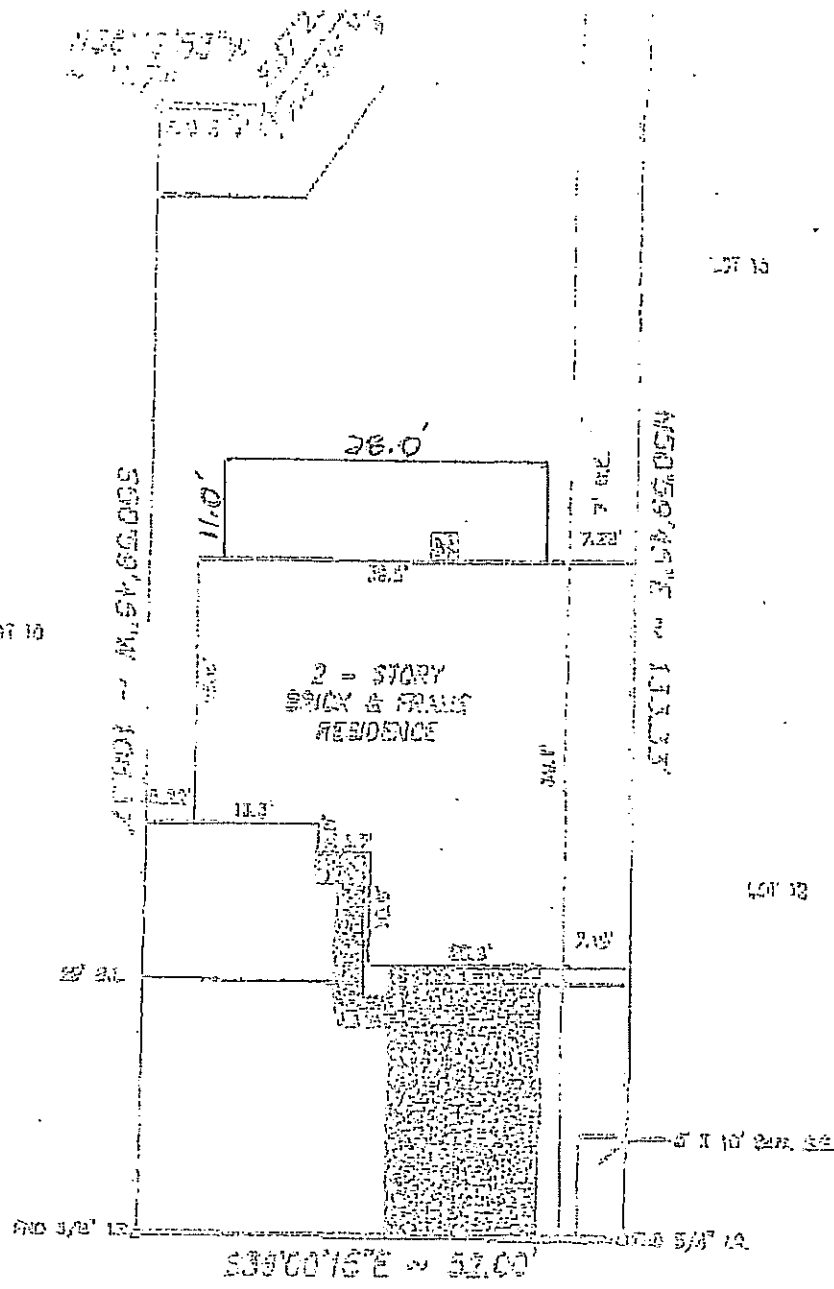
APPROVED "L" BRACKET, "T" BRACKET OR POST CAP



## DETAIL C







7310 WINDING CANYON LANE  
(80' R.O.W.)

NOTE:

1. Distances shown in parentheses were measured on the ground.
2. The following flood information was from a FEMA map. The city is responsible for the accuracy.

NOTE:

1. LOT 10, 12 & 13 ARE 200' WIDE. DISTANCE IS 20' FROM THE CENTERLINE.
2. LOT 10, 12 & 13 ARE 20' WIDE. DISTANCE IS 20' FROM THE CENTERLINE.

COMPLIANCE 3 430225 PANEL 9 0120 J

DATE OF REVISION: 01/03/87

REVISIONS OF 100 YEAR FLOOD PLAIN ZONE 1A

SCALE: 1"=20'

Surveyed for	CENTER HOMES	on	09/15/02	REVISIONS
Showing Lot	11	Block	4	of GREAT OAKS SOUTH
Section	2	in	FORT BEND	County Texas according to the Map or Plat
recorded in	BOOK NO. 2315, PAGE 11	of the	PLAT	recorded at FORT BEND County.
				W.D. A. 77571, 8015